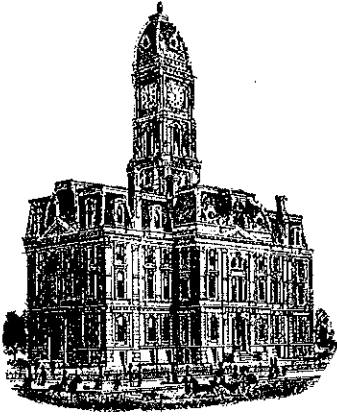


KW



SURVEYOR'S OFFICE Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

October 18, 2018

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Ridge at Flat Fork, Sec. 3 Arm

Attached is a petition filed by North Connecticut Development Corporation (Republic Development), along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Ridge at Flat Fork, Sec. 3 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W160060-3, the drain will consist of the following:

12" RCP	84 ft.	21" RCP	152 ft.
15" RCP	185 ft.	6" SSD	2,542 ft.
18" RCP	72 ft.	Open Drain	35 ft.

The total length of the drain will be 3,070 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The open drain noted above is the swale on lots 211 & 212 that begins at Ex. Str. 298 and drains (35'+/-) in a southwesterly direction. The regulated drain terminates at the property line. The ravines are not to be considered part of the regulated drain and are the maintenance responsibility of the developer, home owners association (HOA), owner, successors or assigns.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 3 will be \$1,407.30.

Located in this section is a run of existing storm pipes (Strs 298, 299, 300, 301) which was previously installed as part of The Ridge at Flat Fork, Sec. 2 and serves to drain pond #8. Per the plans, the pipe between Str. 299 – 300 will be reinstalled at a new slope to accommodate a sanitary sewer line.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: April 25, 2018
Number: 1322RFF3
For: Storm Sewers
Amount: \$97,416.54
HCDB-2018-00015

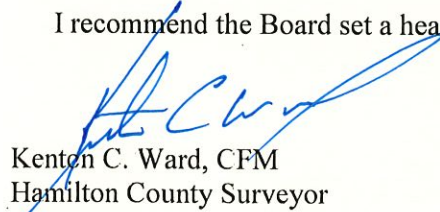
Agent: Standard Financial Corporation
Date: April 25, 2018
Number: 1323RFF3
For: Erosion Control
Amount: \$28,303.00
HCDB-2018-00016

Agent: Standard Financial Corporation
Date: April 25, 2018
Number: 1324RFF3
For: Monumentation
Amount: \$3,806.28
HCDB-2018-00017

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Ridge at Flat Fork, Sec. 3 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 26, 2018.



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/stc

(Revised 06/08/04)

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

JUL 17 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Ridge at Flat Fork Subdivision, Section
 Three Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Ridge at Flat Fork - Section Three, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Fillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEV. CORP.

Douglas B. Wagner, SR. VP.
Signed

DOUGLAS B. WAGNER
Printed Name

JUNE 6, 2017
Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

FILED

JUL 17 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

FINDINGS AND ORDER

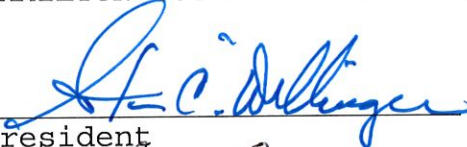
CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Ridge at Flat Fork Section 3 Arm


On this 26th day of November, 2018, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Ridge at Flat Fork Section 3 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary

ENGINEER'S ESTIMATE OF PROBABLE COST

Project: The Ridge at Flat Fork - Section 3
W160060-3

Date: 4/20/2018

STORM SEWERS

	Quantity	Unit Price	Gross Price
Structures			
Large Manhole	1	\$ 4,007.00	\$ 4,007.00
Large Inlet	4	\$ 2,337.00	\$ 9,348.00
Small Inlet	1	\$ 1,750.00	\$ 1,750.00
Double Inlet	3	\$ 3,015.00	\$ 9,045.00
Rock Check Dam	0	\$ 1,500.00	\$ -
12" End Section w/ Animal Guard	2	\$ 1,450.00	\$ 2,900.00
Bedding (#8)	150	\$ 20.50	\$ 3,075.00
Fill #53	450	\$ 14.00	\$ 6,300.00
Tons of Rip Rap	20	\$ 45.00	\$ 900.00
Lot connections (4" underdrain)	19	\$ 130.00	\$ 2,470.00
Linear feet of underdrain (6")	2523	\$ 9.35	\$ 23,590.05
Pipe Removal	1	\$ 2,500.00	\$ 2,500.00
Additional Stone for Overdig	100	\$ 20.50	\$ 2,050.00

Qty	Measurement	Size	Material	Unit Price	Gross Price
Pipe	313	Linear feet of	12"	RCP \$ 23.00	\$ 7,199.00
	28	Linear feet of	15"	RCP \$ 27.30	\$ 764.40
	126	Linear feet of	18"	RCP \$ 29.00	\$ 3,654.00
	161	Linear feet of	21"	RCP \$ 35.00	\$ 5,635.00
STORM SEWER TOTAL:					\$ 81,180.45

EROSION CONTROL

	Quantity	Unit Price	Gross Price
Seeding			
Acres of temp. seed	6.5	\$ 325.00	\$ 2,119.00
Acres of Straw mulch	6.5	\$ 775.00	\$ 5,053.00
Square yards of permanent seed and straw mulch	2,334	\$ 0.42	\$ 980.28
Square yards of erosion control blanket w/ permanent seed)	2,334	\$ 1.05	\$ 2,450.70
Wetland Seeding	5,490	\$ 0.10	\$ 521.55
Roadside Seeding	10,345	\$ 0.34	\$ 3,517.30
Other			
Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
Linear feet of silt fencing	3,620	\$ 1.00	\$ 3,620.00
Concrete Washout	1	\$ 500.00	\$ 500.00
Curb Inlet Protection	8	\$ 168.00	\$ 1,344.00
Drop Inlet	2	\$ 90.00	\$ 180.00
EROSION CONTROL TOTAL			\$ 23,585.83

MONUMENTATION

	Quantity	Unit Price	Gross Price
Misc.			
Rebar Street Control	8	\$ 163.50	\$ 1,308.00
Property Corners	19	\$ 98.10	\$ 1,863.90
MONUMENTATION TOTAL			\$ 3,171.90

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 81,180.45	\$ 97,416.54	\$ 19,483.31
Erosion Control	\$ 23,585.83	\$ 28,303.00	\$ 5,660.60
Monumentation	\$ 3,171.90	\$ 3,806.28	\$ 761.26
	\$ 107,938.18	\$ 129,525.82	\$ 25,905.16

COMMENTS:

Bond Estimate Prepared by:

Signature: Alvin E. Skoog, Jr.

Printed Name: Alvin E. (Rusty) Skoog, Jr.

Title: Sr. Project Manager

Date: 20-Apr-18





MAY 01 2018

April 25, 2018

HCDB-2018-00015
Irrevocable Letter of Credit No.: 1322RFF3

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of Ninety-Seven Thousand Four Hundred Sixteen and 54/100 Dollars (\$97,416.54) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in The Ridge at Flat Fork, Section 3.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1322RFF3".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of April 25, 2018 and shall expire on April 25, 2019, but such expiration date shall be automatically extended for a period of one year on April 25, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



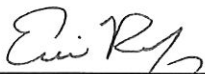
Standard Financial
C O R P O R A T I O N

current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

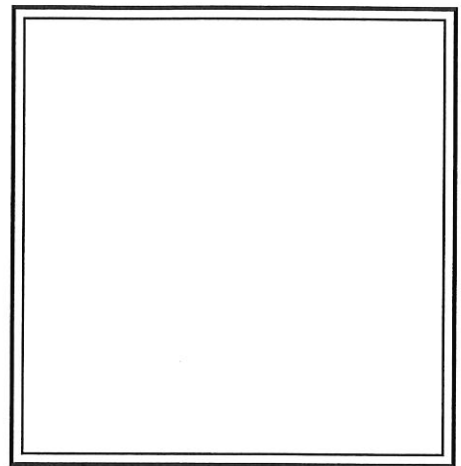
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



MAY 01 2018

OFFICE OF HAMILTON COUNTY SURVEYOR
April 25, 2018

Irrevocable Letter of Credit No.: 1323RFF3

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

HCD B-2018-00016
To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Twenty-Eight Thousand Three Hundred Three and 00/100 Dollars (\$28,303.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in The Ridge at Flat Fork, Section 3.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, **"Drawn under Standard Financial Corporation Letter of Credit No. 1323RFF3"**.

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of April 25, 2018 and shall expire on April 25, 2019, but such expiration date shall be automatically extended for a period of one year on April 25, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

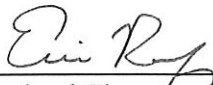


current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

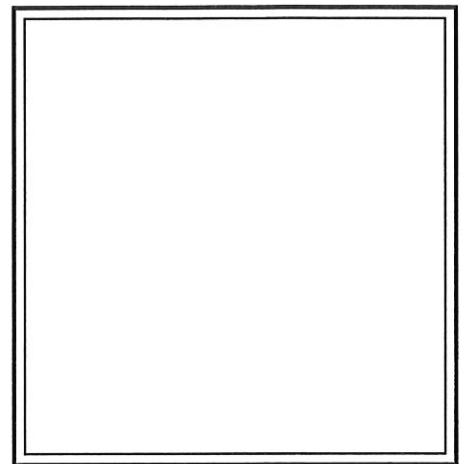
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



OFFICE OF HAMILTON COUNTY SURVEYOR
April 25, 2018

Irrevocable Letter of Credit No.: 1324RFF3

TO: **HCDB-2018-00017**
Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Three Thousand Eight Hundred Six and 28/100 Dollars (\$3,806.28)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of monumentation in The Ridge at Flat Fork, Section 3.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1324RFF3".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of April 25, 2018 and shall expire on April 25, 2019, but such expiration date shall be automatically extended for a period of one year on April 25, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

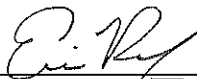


current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

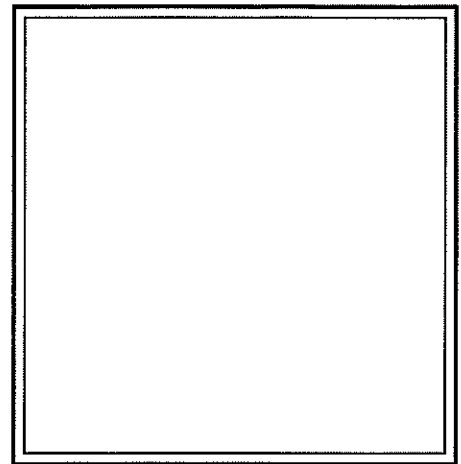
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Ridge at Flat Fork Section 3 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Ridge at Flat Fork Section 3 Arm** on **November 26, 2018** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Vermillion Drain, The Ridge at Flat Fork Section 3 Arm

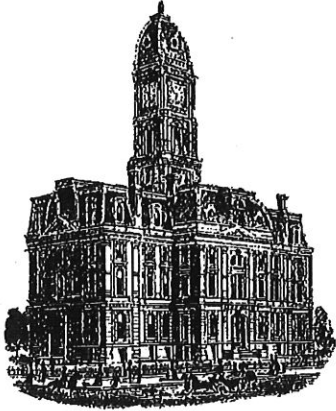
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 26, 2018** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Tax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 11, 2020

Re: Vermillion Drain: Ridge at Flat Fork Sec. 3

Attached are as-built, certificate of completion & compliance, and other information for Ridge at Flat Fork Sec. 3. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated October 18, 2018. The report was approved by the Board at the hearing held November 26, 2018. (See Drainage Board Minutes Book 18, Pages 308-309) The changes are as follows: the 15" RCP was shortened from 185 feet to 184 feet. The 18" RCP was lengthened from 72 feet to 94 feet. The 21" RCP was lengthened from 152 feet to 162 feet. The 6" SSD was shortened from 2,542 feet to 2,501 feet. It should be noted that the drain at existing structure 298 was lengthened by 23 feet to new structure 299. The length of the drain due to the changes described above is now **3,060 feet**.

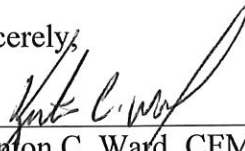
The non-enforcement was approved by the Board at its meeting on November 26, 2018 and recorded under instrument #2020052873.

The following sureties were guaranteed by Standard Financial Corporation and released by the Board on its August 10, 2020 meeting.

Bond-LC No:1322RFF3
Amount: \$97,416.54
For: Storm Sewers & SSD
Issue Date: April 25, 2018

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenton C. Ward", written over a horizontal line.

Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: THE RIDGE AT FLAT FORK SECTION 3

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: Brady Kuhn Date: 1/21/2020

Type or Print Name: BRADY KUHN

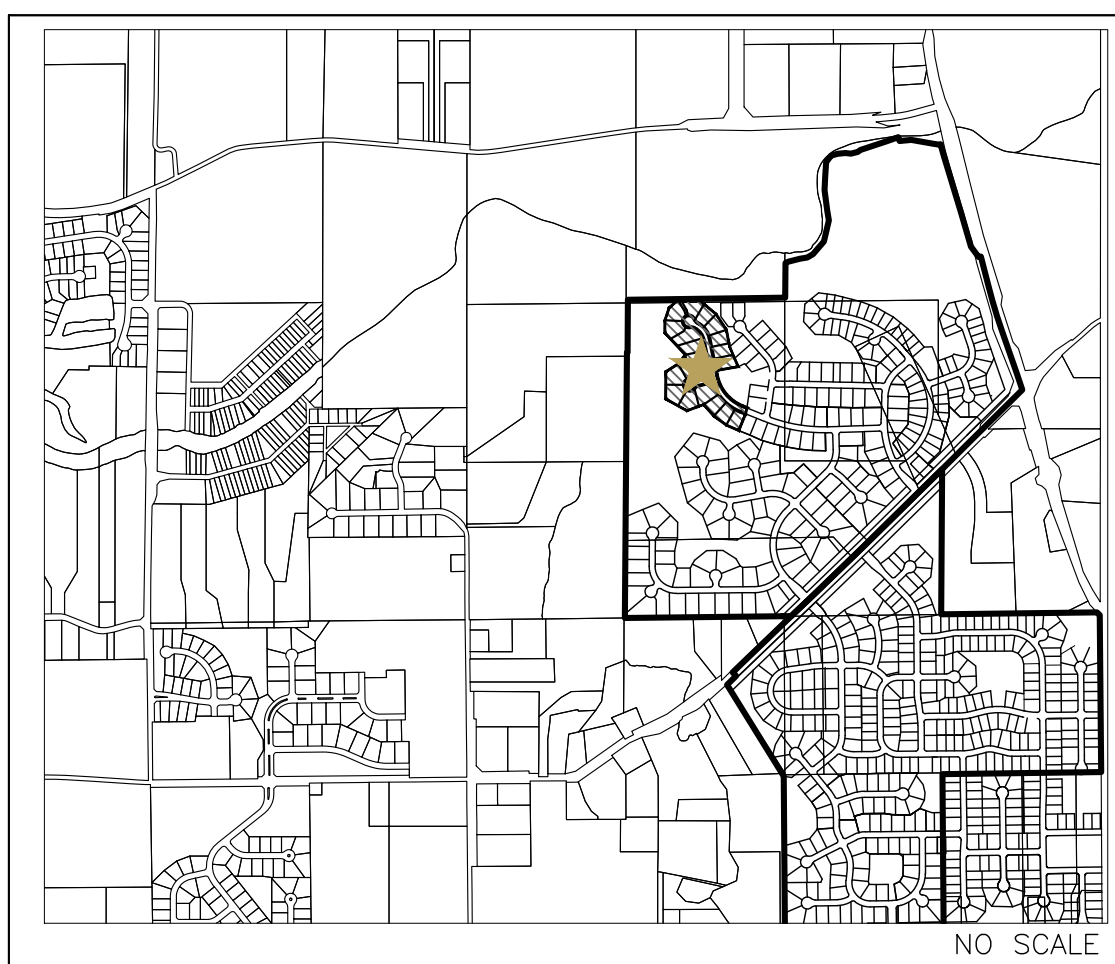
Business Address: 10505 NORTH COLLEGE AVE
INDIANAPOLIS, IN 46280

Telephone Number: 317-846-6611



INDIANA REGISTRATION NUMBER

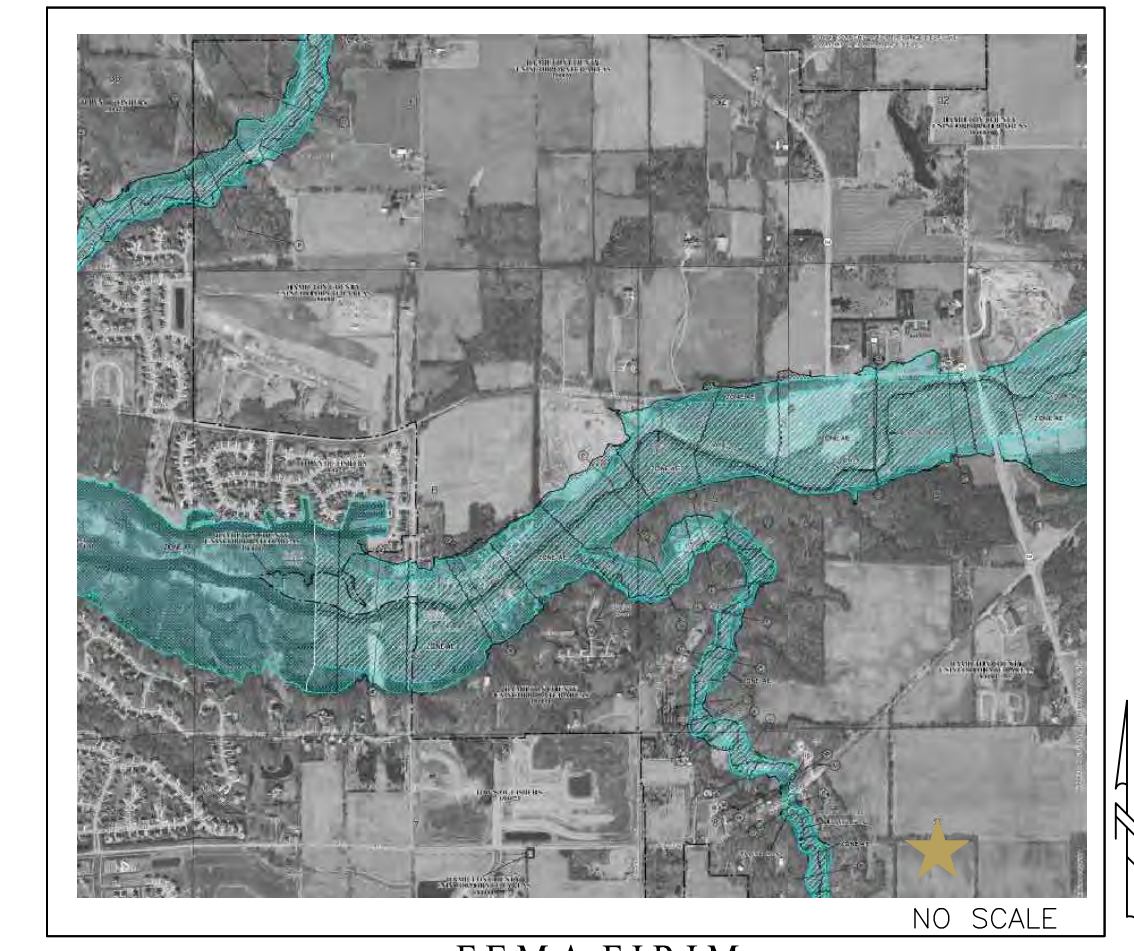
LS.20500007



AREA LOCATION MAP

RECORD DRAWING CONSTRUCTION DRAWINGS *THE RIDGE AT FLAT FORK* *SECTION THREE*

FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



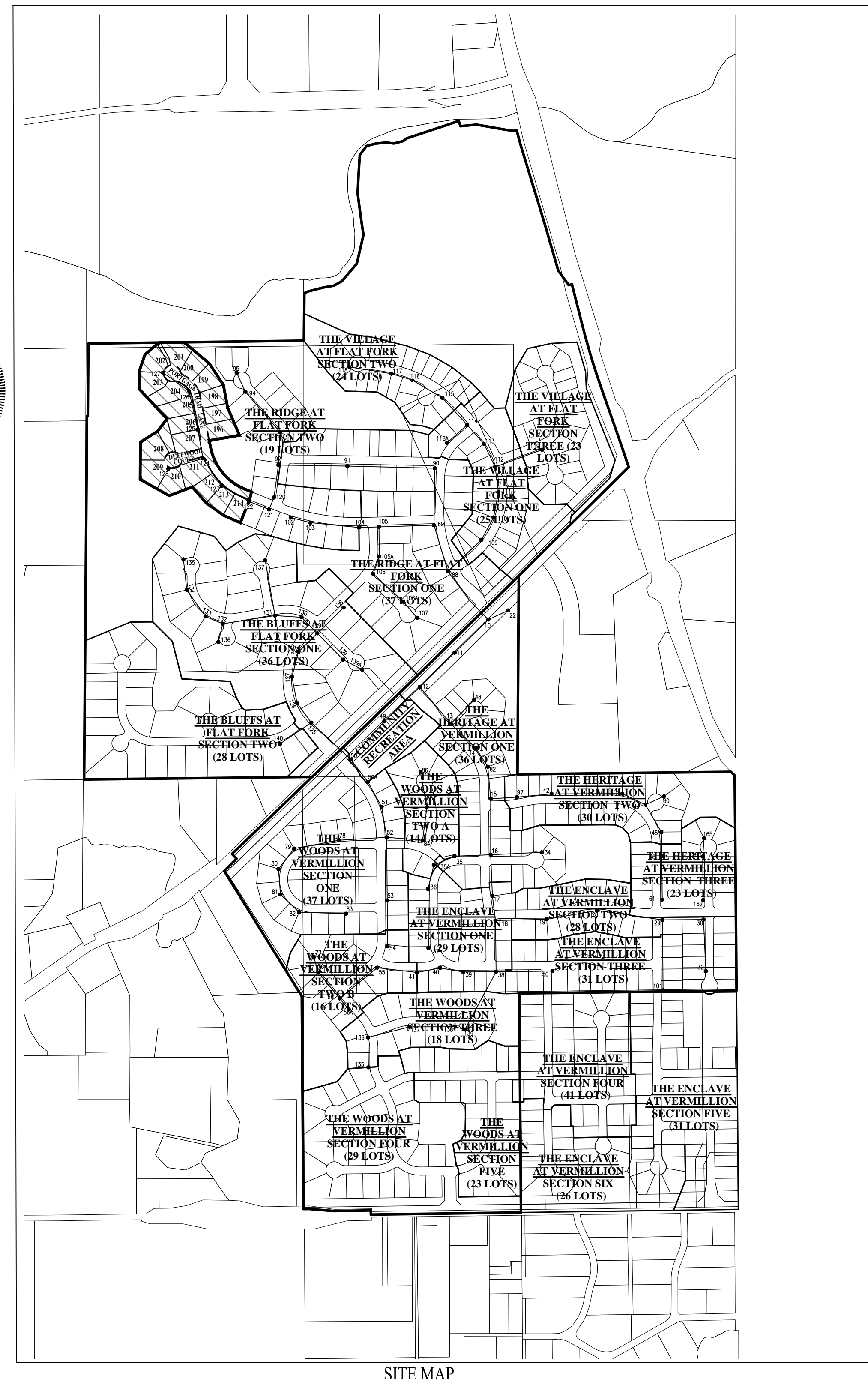
F.E.M.A. F.I.R.I.M.

GENERAL NOTES

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- 2) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
- 3) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- 4) ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- 5) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- 6) TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- 7) THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- 8) ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- 9) THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND 18057C0278G, NOVEMBER 19, 2014.
- 10) BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- 11) THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE, FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- 12) DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- 13) ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER TOWN OF FORTVILLE UTILITY STREET STANDARDS.
- 14) THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS. SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- 15) A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

RECORD DRAWING
1/20/2020

JOSEPH TRTAN, LS21500003



SITE MAP

SHEET INDEX	
SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300	DEVELOPMENT PLAN
C301	PONDING LIMITS/FLOOD ROUTING PLAN
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAIL
C402-405	STREET DETAILS & SPECIFICATIONS
C406	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C500-C501	SANITARY SEWER PLAN & PROFILE
C502-C504	SANITARY SEWER DETAILS & SPECIFICATIONS
C600-C601	STORM SEWER PLAN & PROFILE
C602-C603	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100	LANDSCAPE PLAN

STREET DATA

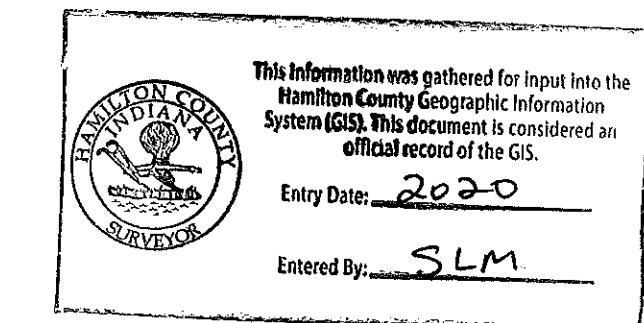
STREET LENGTHS:

PORTAGE TAIL LANE	945.38 L.F.±
DEEPWOOD COURT	213.93 L.F.±
TOTAL	1159.31 L.F.±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

SITE AREA:

SITE	10.10 AC.±
LOTS	19



NOTE: THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3126 ATTN: MEGAN SCHAEFER	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/ HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-577-1150 ATTN: THOMAS KALLIO	NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLUSINKI	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-377-5230 ATTN: DICK MOSIER
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-323-2087 ATTN: JOHN SPLATTER	EMBARQ/ CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4863 ATTN: DAVID MEYERS	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH
VECTREN 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: JOANIE CLARK	COMCAST 5330 E. 65TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	

PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131st STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: 317-770-1818
CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: ALVIN (RUSTY) SKOOG



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weihe.net

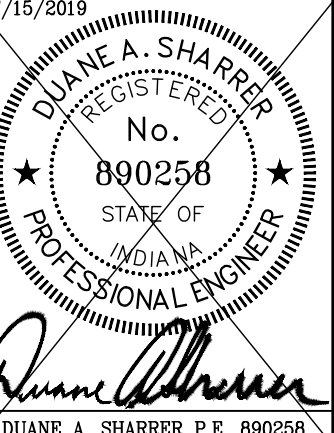
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800 | 452 - 6408
317 | 843 - 0546 fax

ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.	DATE	BY	REV.
W160060-3	09/12/2017	ME	
DRW. NAME:	07/25/2017	ME	
JOB CODE: The Standard	02/27/2018	DR	
DESIGNED BY:	07/15/2019	ME	
DRAWN BY:	09/27/2019	ME	
CHECKED BY:		ME	
DATE:		ME	

REVISIONS AND ISSUES	REVISIONS PER USE & TAC COMMENTS	REVISIONS PER GRADING COMMENTS AND USE COMMENTS	REVISIONS PER USE COMMENTS	REVISIONS PER USE COMMENTS	REVISIONS PER CLIENT COMMENTS



DUANE A. SHARRER P.E. 890256

THE RIDGE AT FLAT FORK SECTION THREE
NORTH CONNECTICUT DEVELOPMENT CORP.
TITLE SHEET

SHEET NO.
C001
PROJECT NO.
W160060-3

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS, ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. ROLLED CURBS & GUTTERS SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION, PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTING TEST SHALL BE RUN ON EACH LIFT, IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
18. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.G. OR M.F.E. WHICHEVER IS HIGHEST.
20. FINISHED FLOOR ELEVATION (FFE)

PRODUCT	FFE
SLAB ON GRADE	0.7" PAD ELEVATION
BASEMENT	1.8" PAD ELEVATION

*PAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN

UNLESS APPROVED OTHERWISE BY HSE, THE PAD ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING PAD ELEVATION ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

BENCHMARK INFORMATION

SOURCE BENCHMARK

HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL," SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)

TBM - WOODS 1

MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)

TBM - RIDGE 1

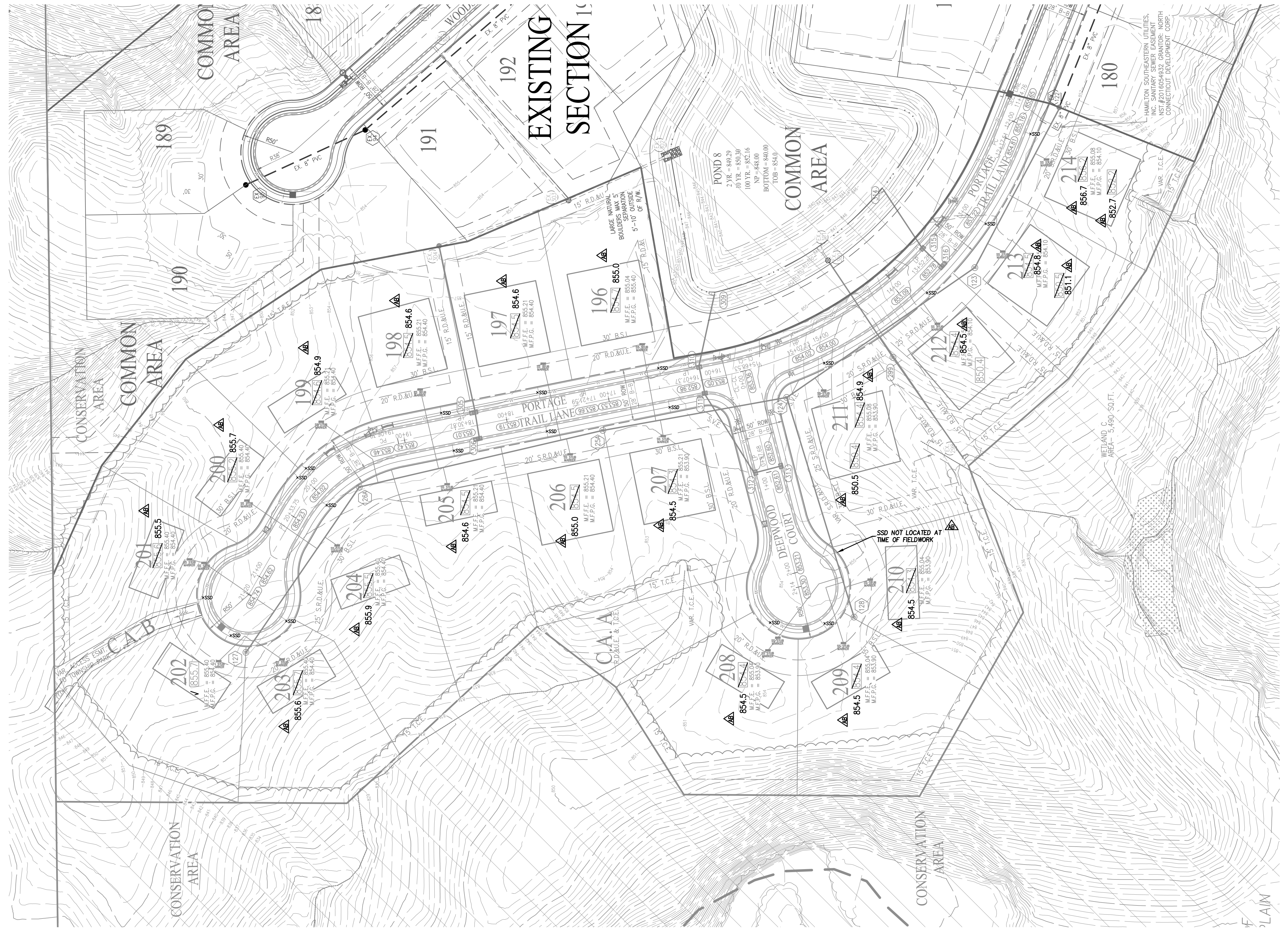
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILLION - SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)

TBM - VILLAGE 1

MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE
N=1712107.64
E=271734.52
EL=857.24 (NAVD 88)

TBM 2

RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)



RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY
1/20/2020

Joe Tob
JOSEPH TRTAN, LS21500003

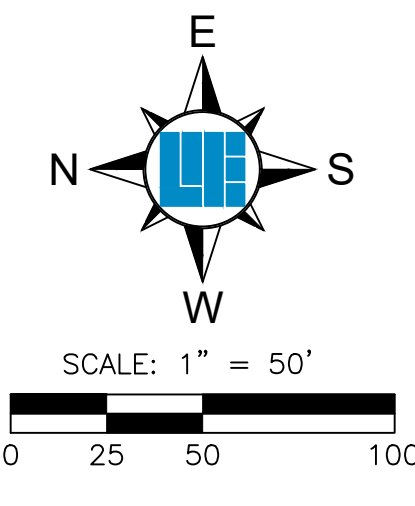


- ▲ - ASBUILT INFORMATION
- ✓ - BUILT AS PLANNED
- - ASBUILT SPOT ELEVATION
- - ASBUILT RISER
- ▬ - ASBUILT SUBSURFACE DRAIN

DATE OF LAST FIELDWORK: 1/20/2020

- LEGEND**
- RIGHT-OF-WAY LINE
 - PROPOSED STORM SEWER LINE
 - EXISTING STORM SEWER LINE
 - SWALE
 - SSD
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - PROPOSED WATER LINE
 - FLOW DIRECTION
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM SEWER INLET
 - STORM INLET
 - TOP OF CASTING
 - INVERT
 - REINFORCED CONCRETE PIPE
 - MANHOLE
 - STRUCTURE
 - DRAINAGE EASEMENT
 - DRAINAGE AND UTILITY EASEMENT
 - DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
 - CONCRETE END SECTION
 - MATCH EXISTING

- TYP. = TYPICAL
- PROP. = PROPOSED
- EX. = EXISTING
- R. = RADIUS
- V.W. = VARIABLE WIDTH
- MLAG = MINIMUM LOWEST ADJACENT GRADE
- ROW = RIGHT-OF-WAY
- B-B = BACK OF CURB
- 860.4 = PAD ELEV
- = EMERGENCY FLOOD ROUTE
- B.S.L. = BUILDING SETBACK LINE
- HP = HIGH POINT
- ADA = ADA RAMP
- FD = FIRE HYDRANT
- = PROPOSED ASPHALT PATH



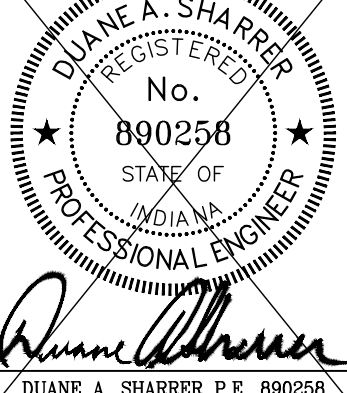
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317 | 843 - 0546 (fax)
ALLAN H. WEIHE, P.E., I.S., - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.	W160060-3
DWG. NAME	#300 Development Plan
DESIGNED BY	BT
DRAWN BY	BT
CHECKED BY	BT
DATE	03.03.2017

DATE	BY	REVISIONS AND ISSUES
09/12/2017	BT	REVISIONS PER HSE & TAC COMMENTS
01/25/2018	BT	REVISIONS PER GRADING COMMENTS AND HSE COMMENTS
02/27/2018	BT	REVISIONS PER HSE COMMENTS
07/15/2019	BT	REVISIONS PER HSE COMMENTS
09/27/2019	BT	ISSUES BY PATH PER CLIENT COMMENTS ASBUILTS

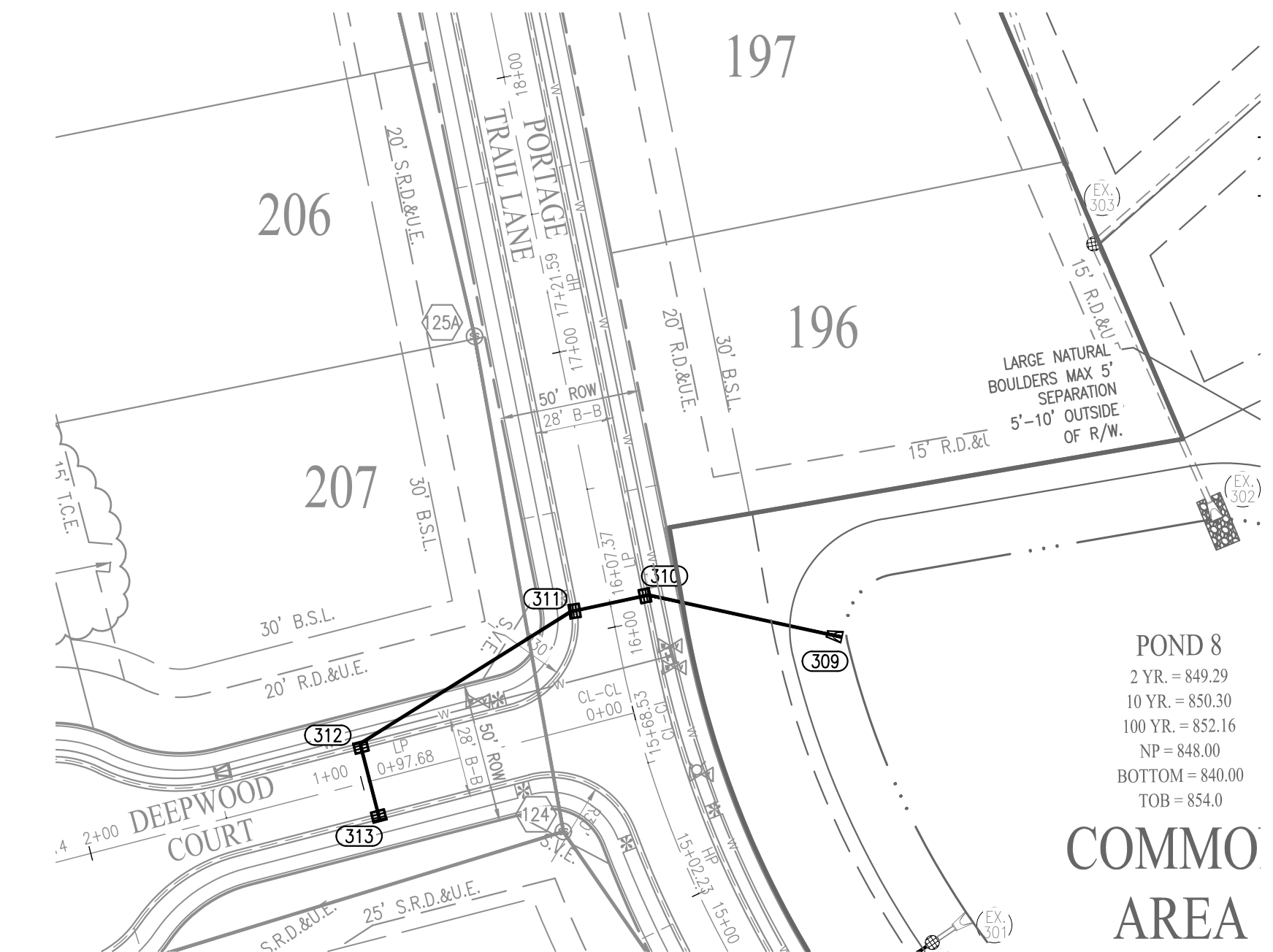
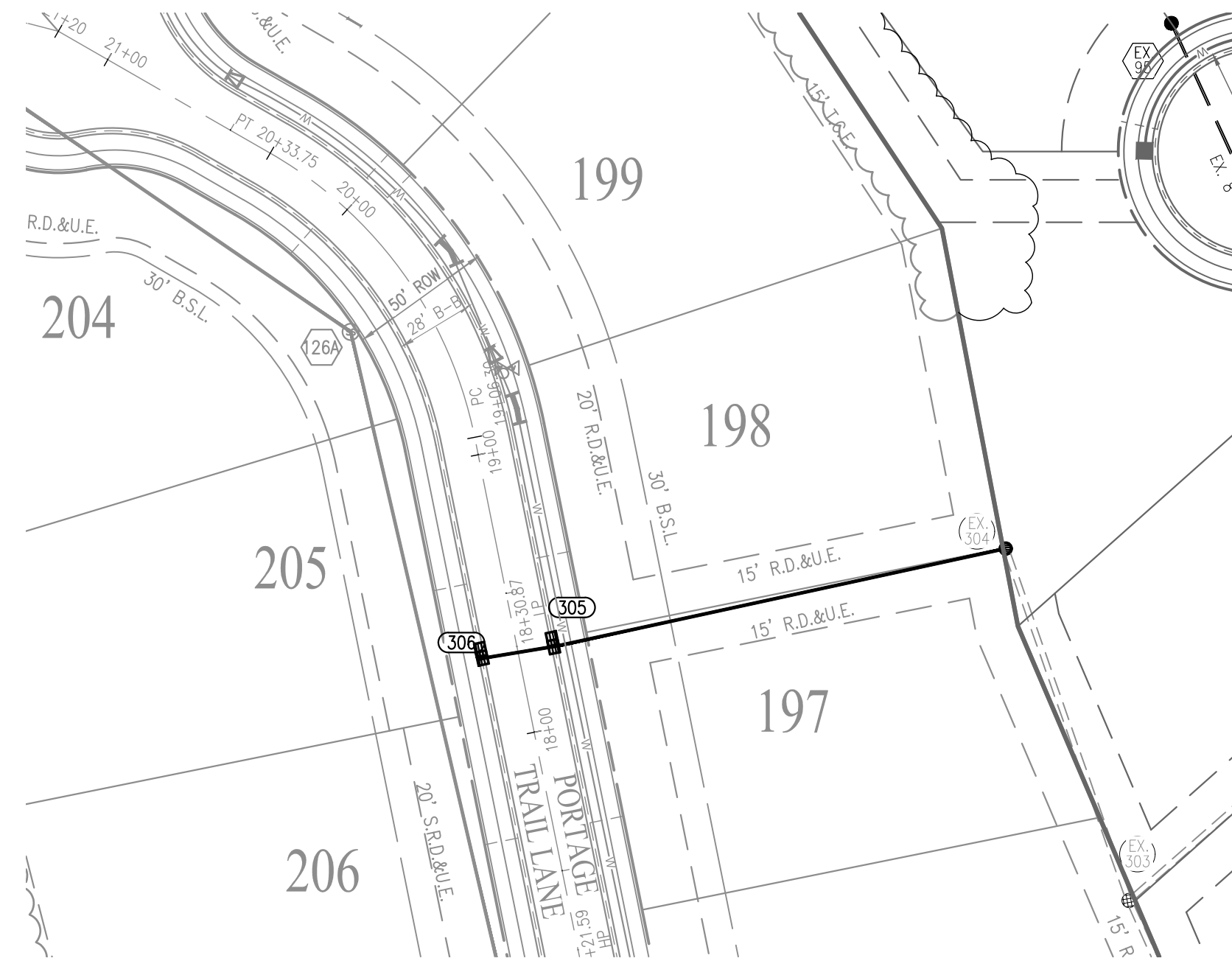


PREPARED FOR:
THE RIDGE AT FLAT FORK SECTION THREE
NORTH CONNECTICUT DEVELOPMENT CORP.
DEVELOPMENT PLAN
Part of the SR 85 1/4 of Section 15, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana
SHEET NO. **C300**
PROJECT NO. **W160060-3**

LOCATION: H:\2018\W160060\Section C3\Engineering\design\sublots\AB\Consent\AB_C300_Development_Plan.dwg
DATE/TIME: January 20, 2020 - 9:23am
PLOTTER: HP
PLOTTER DRIVER: weihew

STORM SEWER NOTES

- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES. PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
- CONTRACTOR TO INSTALL CONCRETE CRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE C900 WATER MAIN GRADE PVC.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H20 LOADING.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT IN TO INVERT OUT.
- NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
- IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
- ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL; IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
- PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #6 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
- VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.



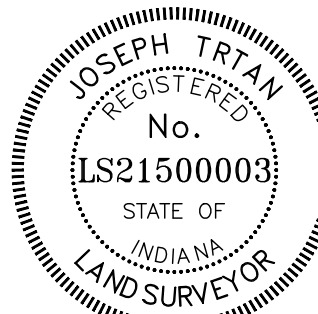
POND 8
 2 YR. = 849.29
 10 YR. = 850.30
 100 YR. = 852.16
 NP = 848.00
 BOTTOM = 840.00
 TOB = 854.00

COMMO AREA

STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
EX. 298	END SECTION	N/A	N/A	INV IN = 841.96(NE)
299	MANHOLE	853.92	NEENAH R-1772	INV IN = 846.07(NE) INV OUT = 842.74(SW)
EX. 300	MANHOLE	851.90	NEENAH R-4218-C	INV IN = 847.73(NE) INV OUT = 847.72(SW)
EX. 301	END SECTION	N/A	N/A	INV OUT = 847.92(SW)
305	DOUBLE CURB INLET	853.05	NEENAH R-3501-TL	INV IN = 849.01(W) INV OUT = 848.91(E)
306	DOUBLE CURB INLET	853.05	NEENAH R-3501-TR	INV OUT = 849.13(E)
309	END SECTION	N/A	N/A	INV IN = 848.00(W)
310	INLET TYPE A	853.02	NEENAH R-3501-TR	INV IN = 848.23(W) INV OUT = 848.13(E)
311	INLET TYPE A	853.06	NEENAH R-3501-TR	INV IN = 848.41(SW) INV OUT = 848.31(E)
312	INLET TYPE A	852.64	NEENAH R-3501-TR	INV IN = 848.72(S) INV OUT = 848.62(NE)
313	INLET TYPE A	852.64	NEENAH R-3501-TR	INV OUT = 848.81(N)
314	END SECTION	N/A	N/A	INV IN = 848.00(SW)
315	INLET TYPE A	852.82	NEENAH R-3501-TR	INV IN = 848.52(SW) INV OUT = 848.42(NE)
316	DOUBLE CURB INLET	852.82	NEENAH R-3501-TR	INV OUT = 848.82(NE)

RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 1/20/2020

JOSEPH TRTAN, LS2150003



AS-BUILT INFORMATION
 BUILT AS PLANNED
 DATE OF LAST FIELDWORK: 1/20/2020

DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
299	298	18"	RCP	36'	0.81%
300	299	18"	RCP	110'	1.50%
301	300	18"	RCP	16'	1.18%
305	95	21"	RCP	152'	0.15%
306	305	12"	RCP	28'	0.43%
310	309	18"	RCP	72'	0.18%
311	310	15"	RCP	28'	0.29%
312	311	15"	RCP	89'	0.24%
313	312	12"	RCP	28'	0.32%
315	314	15"	RCP	68'	0.62%
316	315	12"	RCP	28'	1.07%

BENCHMARK INFORMATION

SOURCE BENCHMARK
 HSE 38
 A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET."
 N=1714311.26
 E=271886.09
 EL=809.14 (NAVD 88)

TBM - WOODS 1
 MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- NORTH AND THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
 N=1709211.04
 E=271032.69
 EL=861.40 (NAVD 88)

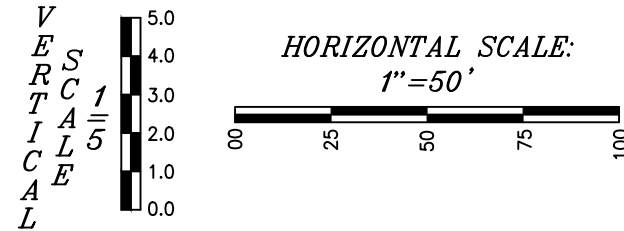
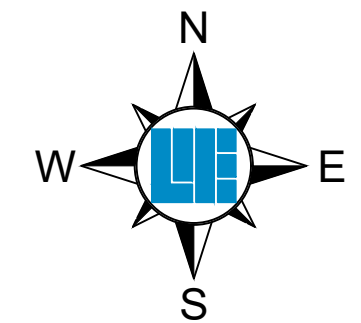
TBM - RIDGE 1
 MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW RIDGE IN THE RIDGE AT VERMILLION - SECTION ONE
 N=1712098.06
 E=270413.43
 EL=855.66 (NAVD 88)

TBM - VILLAGE 1
 MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE
 N=171207.64
 E=271734.52
 EL=857.24 (NAVD 88)

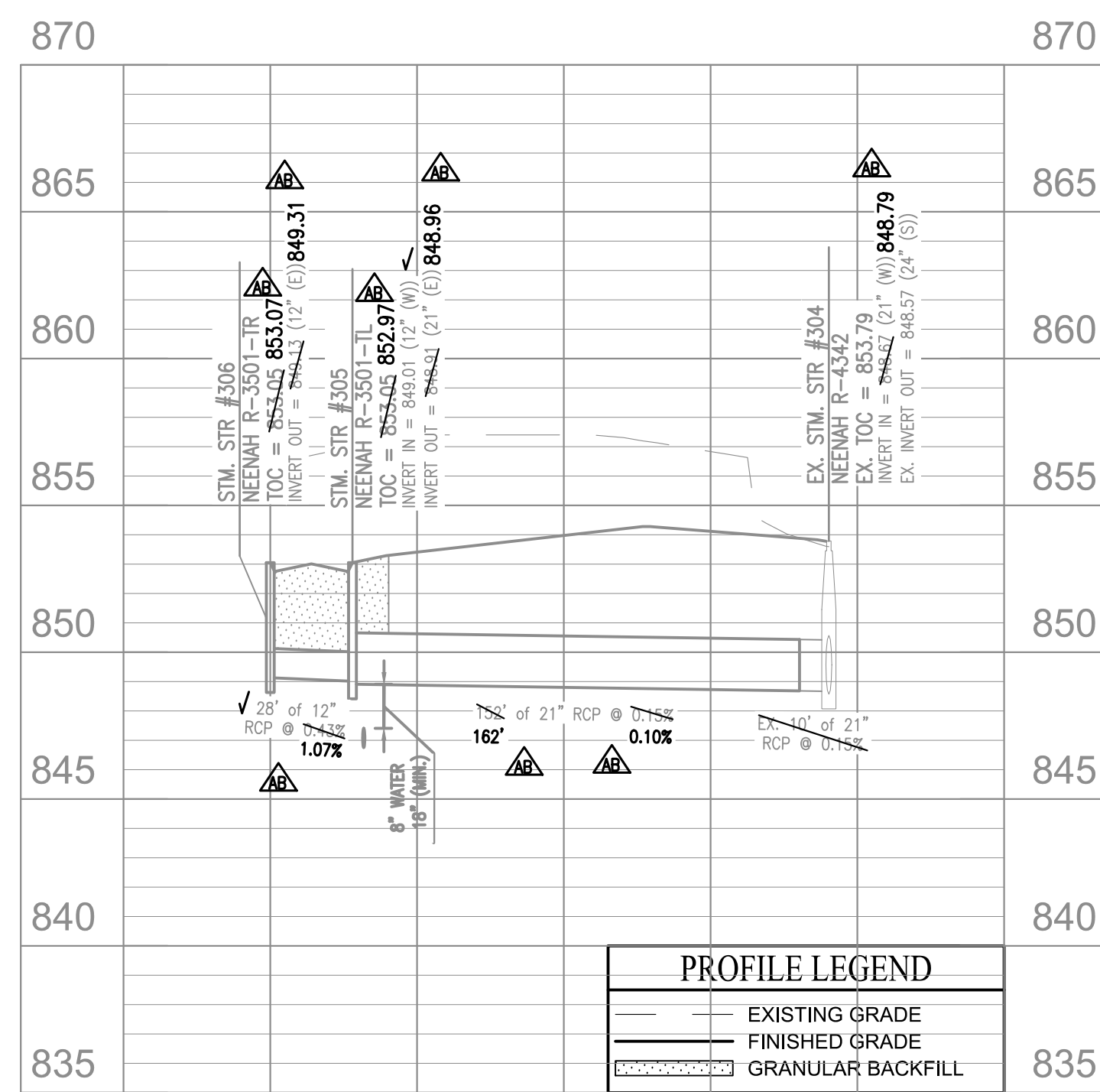
TBM 2
 RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
 N=1709400
 E=273165
 EL=864.60 (NAVD 88)

- LEGEND**
- RIGHT-OF-WAY LINE
 - PROPOSED STORM SEWER LINE
 - EXISTING STORM SEWER LINE
 - SWALE
 - SSD
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - PROPOSED WATER LINE
 - FLOW DIRECTION
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM BEEHIVE INLET
 - STORM INLET
 - TOP OF CASTING
 - STATE OF INDIANA
 - RCP
 - REINFORCED CONCRETE PIPE
 - MANHOLE STRUCTURE
 - DRAINAGE EASEMENT
 - DRAINAGE AND UTILITY EASEMENT
 - DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
 - CONCRETE END SECTION
 - MATCH EXISTING

- TYP. = TYPICAL
- PROP. = PROPOSED
- EX. = EXISTING
- R. = RADIUS
- V.W. = VARIABLE WIDTH
- MCAG = MINIMUM LOWEST ADJACENT GRADE
- ROW = RIGHT-OF-WAY
- B-8 = BACK OF CURB
- 860.4 = PAD ELEV
- B.S.L. = BUILDING SETBACK LINE
- HP = HIGH POINT
- ADA = ADA RAMP
- FR = FIRE HYDRANT
- PROPOSED 8' ASPHALT PATH

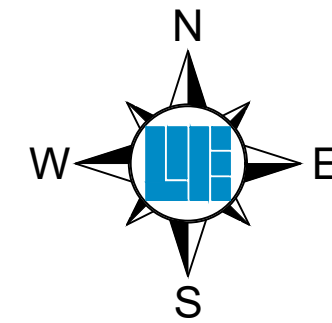


HORIZONTAL SCALE: 1" = 50'

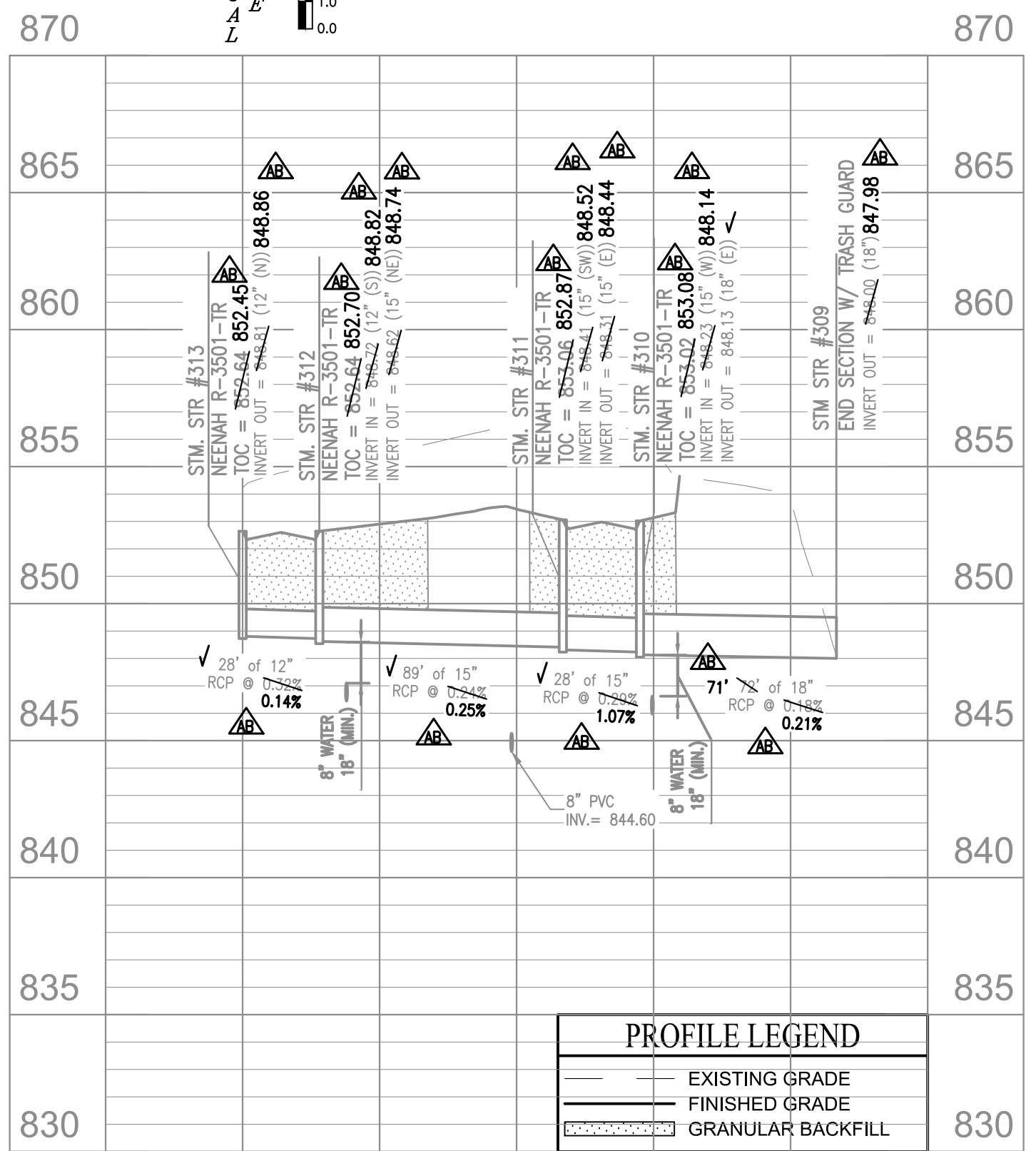


PROFILE LEGEND

- EXISTING GRADE
- FINISHED GRADE
- GRANULAR BACKFILL



HORIZONTAL SCALE: 1" = 50'



PROFILE LEGEND

- EXISTING GRADE
- FINISHED GRADE
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REVISIONS AND ISSUES

NO.	DATE	BY	REVISIONS PER USE & TAG COMMENTS
1	09/12/2017	ME	REVISIONS PER GRADING COMMENTS AND USE COMMENTS
2	07/25/2017	ME	REVISIONS PER GRADING COMMENTS AND USE COMMENTS
3	02/27/2018	DIR	REVISIONS PER USE COMMENTS
4	07/15/2019	ME	REVISIONS PER USE COMMENTS
5	09/07/2019	ME	REVISIONS PER USE COMMENTS
6	09/27/2019	ME	REVISIONS PER USE COMMENTS

DUANE A. SHARPER, P.E., 890256
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA

PREPARED FOR:
THE RIDGE AT FLAT FORK SECTION THREE
 NORTH CONNECTICUT DEVELOPMENT CORP.
 STORM SEWER PLAN AND PROFILE
 Part of the SR 85 / 1/4 of Section 15, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

SHEET NO. **C600**
 PROJECT NO. **W160060-3**

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., I.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

BENCHMARK INFORMATION

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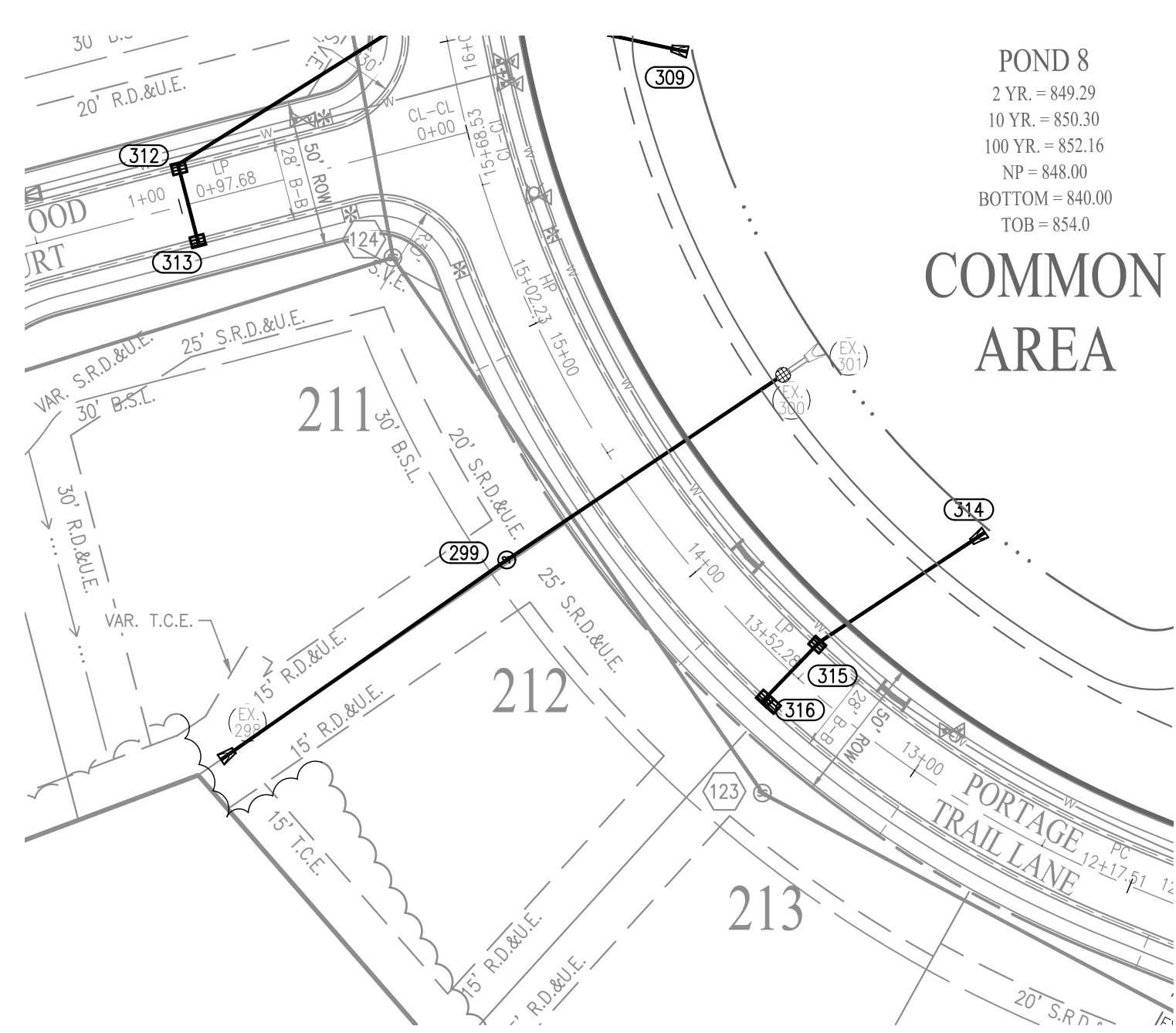
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STORM SEWER NOTES

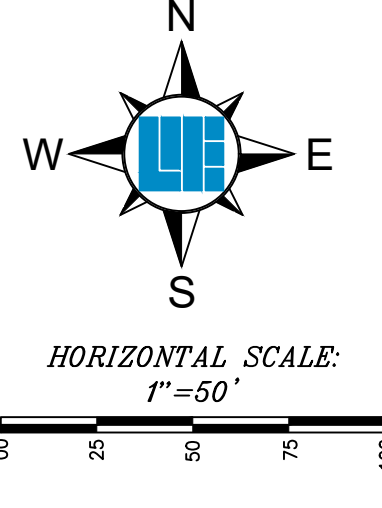
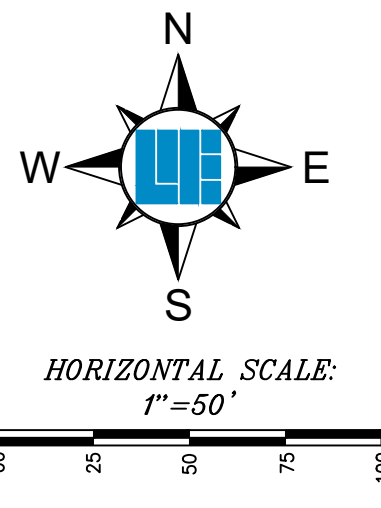
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
- CONTRACTOR TO INSTALL CONCRETE CRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE C900 WATER MAIN GRADE PVC.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H20 LOADING.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT IN TO INVERT OUT.
- NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
- IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
- ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL; IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
- PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #8 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
- VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 1/20/2020
 JOSEPH TRTAN, LS21500003



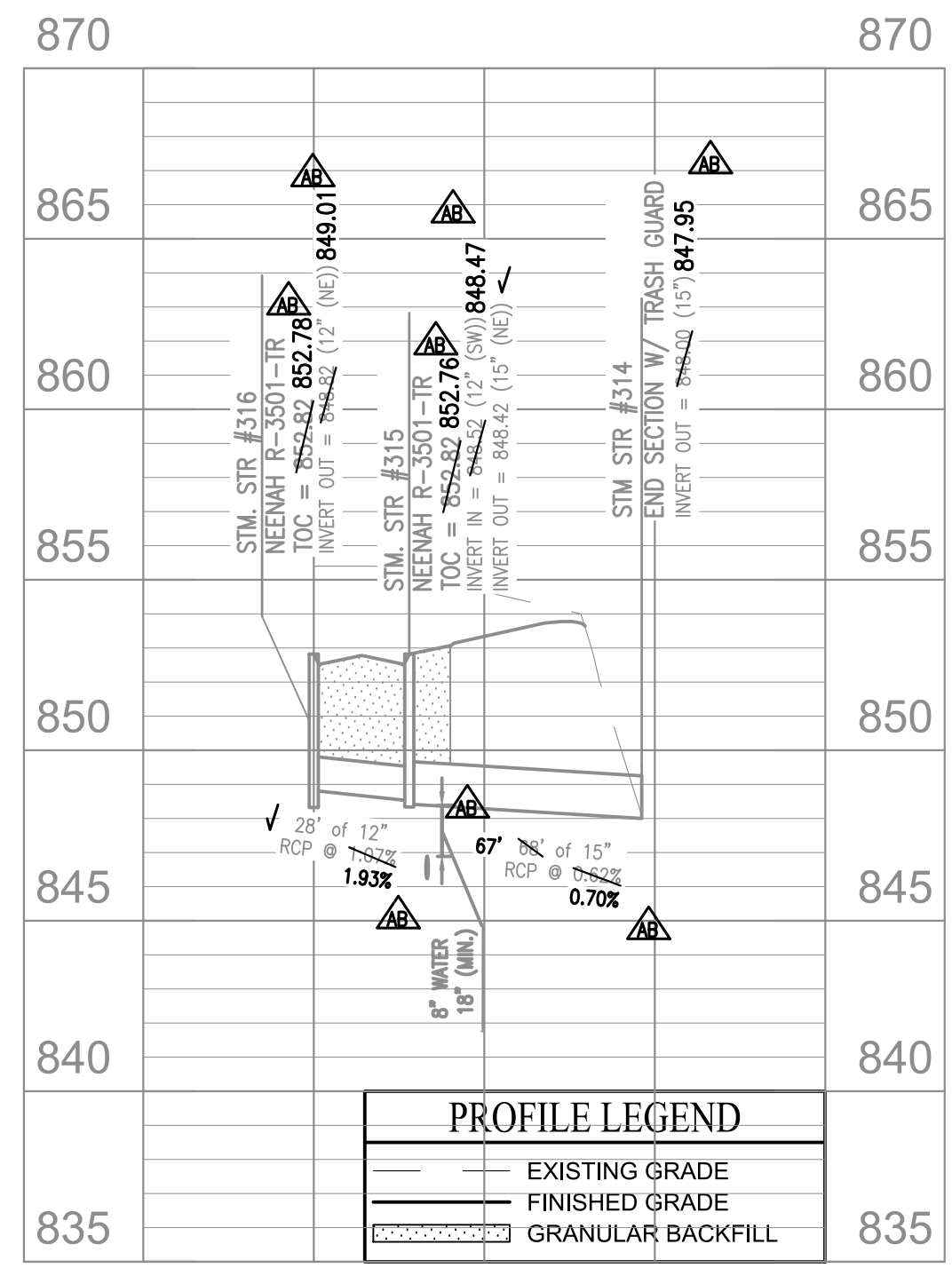
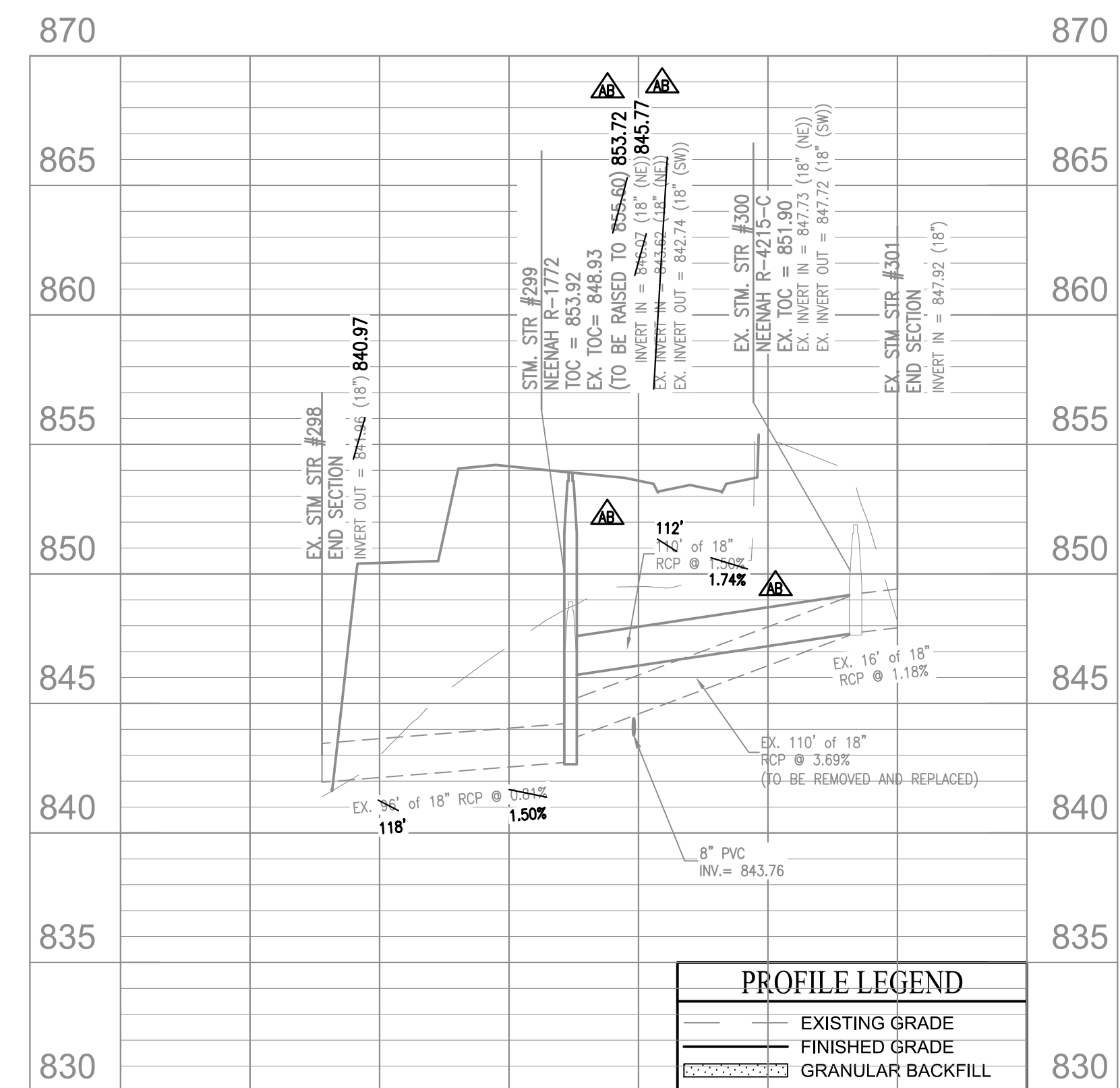
DATE OF LAST FIELDWORK: 1/20/2020



LEGEND

[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	PROPOSED STORM SEWER LINE
[Symbol]	EXISTING STORM SEWER LINE
[Symbol]	SWALE
[Symbol]	SSD
[Symbol]	PROPOSED SANITARY SEWER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	SANITARY SEWER LATERAL
[Symbol]	PROPOSED WATER LINE
[Symbol]	FLOW DIRECTION
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[Symbol]	STORM INLET
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[Symbol]	STRUCTURE
[Symbol]	DRAINAGE EASEMENT
[Symbol]	DRAINAGE AND UTILITY EASEMENT
[Symbol]	DRAINAGE UTILITY AND SANITARY SEWER EASEMENT
[Symbol]	CONCRETE END SECTION
[Symbol]	MATCH EXISTING

TYP	TYPICAL
PROR	PROPOSED
EX	EXISTING
R	RADIUS
V.W.	VARIABLE WIDTH
M.A.G	MINIMUM LOWEST ADJACENT GRADE
ROW	RIGHT-OF-WAY
B-B	BACK OF CURB
[Symbol]	PAD ELEV
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[Symbol]	B.S.L. = BUILDING SETBACK LINE
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PROJECT NO.	DATE	BY	REVISIONS AND ISSUES
W160060-3	09/12/2017	ME	REVISIONS PER USE & TAC COMMENTS
W160060-3	01/25/2018	ME	REVISIONS PER GRADING COMMENTS AND USE COMMENTS
W160060-3	02/27/2018	DR	REVISIONS PER USE COMMENTS
W160060-3	07/15/2019	ME	REVISIONS PER USE COMMENTS
W160060-3	09/27/2019	ME	ISSUES BY PATH PER CLIENT COMMENTS
W160060-3	09/27/2019	ME	AS-BUILTS

DUANE A. SHARPER
 REGISTERED PROFESSIONAL ENGINEER
 No. 890256
 STATE OF INDIANA
 Duane A. Sharper P.E. 890256

PREPARED FOR:
THE RIDGE AT FLAT FORK SECTION THREE
 NORTH CONNECTICUT DEVELOPMENT CORP.
 STORM SEWER PLAN AND PROFILE
 Part of the SR 85 1/4 of Section 15, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

SHEET NO.
C601

PROJECT NO.
W160060-3

WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
- FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE DEPARTMENT).
- IF WATER MAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
- MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
- NUMBER TEN (10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
- IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
- CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
- ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
- ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
- ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
- WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
- ALL WATER MAIN JOINTS TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
- WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF THE HOUSE CONSTRUCTION.
- NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.
- INSTALLATION OF INDOT APPROVED SNOW/PLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTIONS 800 & 900 OF THE MOST RECENT REVISION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL A REFLECTOR BE ATTACHED TO THE PAVEMENT SURFACE USING ONLY ADHESIVE.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
- WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.

BENCHMARK INFORMATION

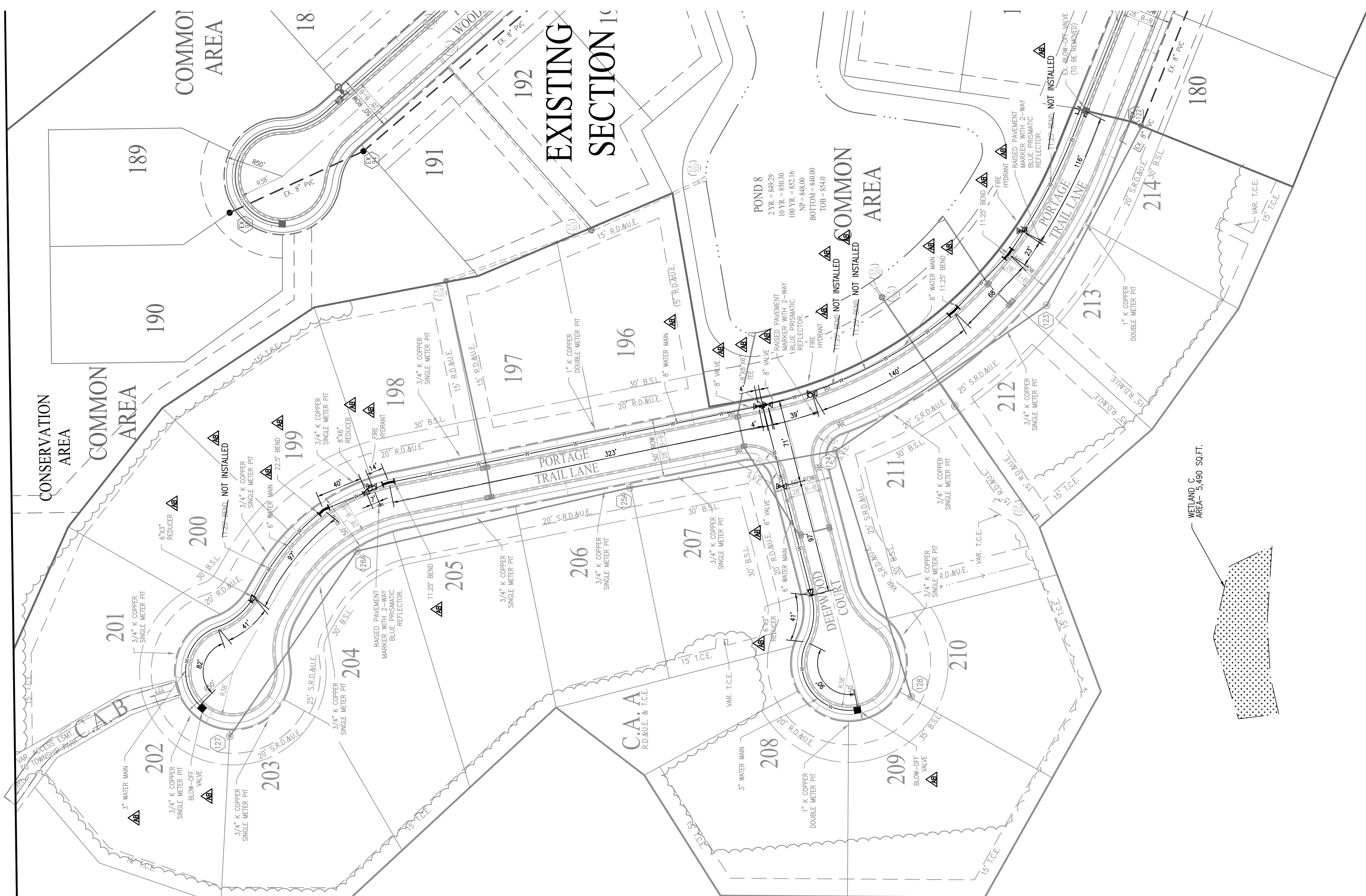
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N=1709400
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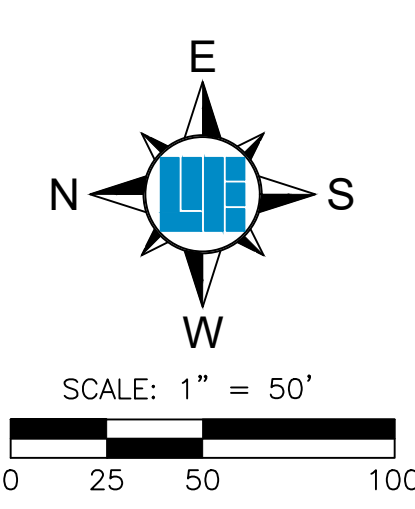
- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT WATER LATERAL STUB
- AS-BUILT TEE
- AS-BUILT 11.25" BEND
- AS-BUILT 22.5" BEND
- AS-BUILT 45" BEND
- AS-BUILT FIRE HYDRANT
- AS-BUILT WATER VALVE
- AS-BUILT SLEEVE
- AS-BUILT BLOW OFF
- AS-BUILT WATERSTOP
- AS-BUILT REDUCER

DATE OF LAST FIELDWORK: 1/20/2020

NO WATER LATERALS WERE INSTALLED AT TIME OF FIELDWORK. ALL UNDERGROUND STRUCTURE AND BEND LOCATIONS ARE BASED OFF OF THE CONTRACTORS REDLINE MARKUPS.

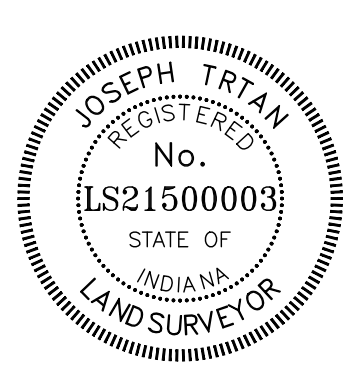
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RECORD DRAWING
WATER AS-BUILTS
WATER STRUCTURES ONLY
1/20/2020
Joe Trian
JOSEPH TRIAN, LS2150003



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DATE	BY	REVISIONS AND ISSUES
09/12/2017	ME	PROJECT NO. W160060-3
01/25/2018	ME	DRAWING NAME: 811 C700 Water Main
02/27/2018	ME	DESIGNED BY: ME
07/15/2019	ME	DRAWN BY: ME
09/27/2019	ME	CHECKED BY: ME
09/27/2019	ME	DATE: 07.03.2017

DUANE A. SHARRER
REGISTERED PROFESSIONAL ENGINEER
No. 890256
STATE OF INDIANA
DUANE A. SHARRER P.E. 890256

THE RIDGE AT FLAT FORK SECTION THREE
NORTH CONNECTICUT DEVELOPMENT CORP.
WATER MAIN PLAN
Part of the SR 85 / 14 of Section 15, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

PREPARED FOR:
C700
PROJECT NO.
W160060-3

LOCATION: H:\2018\W160060\Section C3\Engineering\Design\Submittals\AB_Constr\AB_C700_Water_Main.dwg
DATE/TIME: January 20, 2020 - 5:25pm
PLOTTED BY: weiever